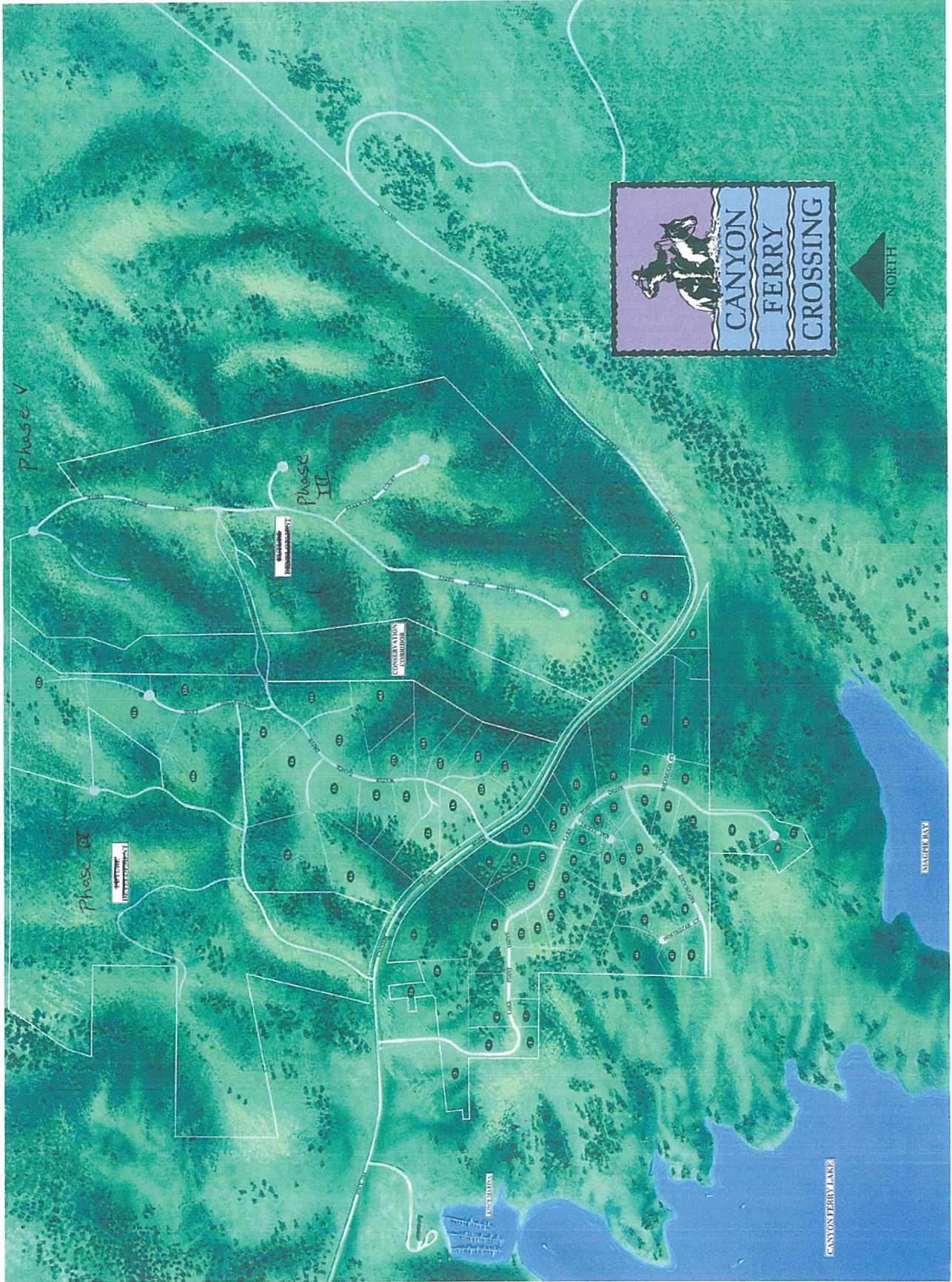




DESIGN STANDARDS AND PROCEDURES

Adopted by the
Canyon Ferry Crossing
Architectural Review Committee
Helena, Montana
1 June, 1999



DESIGN GUIDELINES
FOR CANYON FERRY CROSSING

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DESIGN GUIDELINES
FOR CANYON FERRY CROSSING
SECTION I - COMMUNITY OVERVIEW

The Community of Canyon Ferry Crossing

The Property

Nestled between Canyon Ferry Lake on the Missouri River and the Big Belt National Forest, Canyon Ferry Crossing provides a rare opportunity to create a unique community of homes. Canyon Ferry Crossing is one of the very few locations where you can own deeded property at Canyon Ferry Lake. There is easy access to the lake at Kim's Marina and Maggie Bay. Numerous recreational trails from Canyon Ferry Crossing provide owners access to Canyon Ferry Lake and surrounding state and national forests. Virtually every home site offers spectacular mountain and/or lake views. The natural setting and recreational activities afforded by Canyon Ferry Crossing provide the basis for the design philosophy that shapes the vision of this community. More than a real estate development, Canyon Ferry Crossing has been designed for a community of families who share the common desire to enjoy the Montana recreational lifestyle.

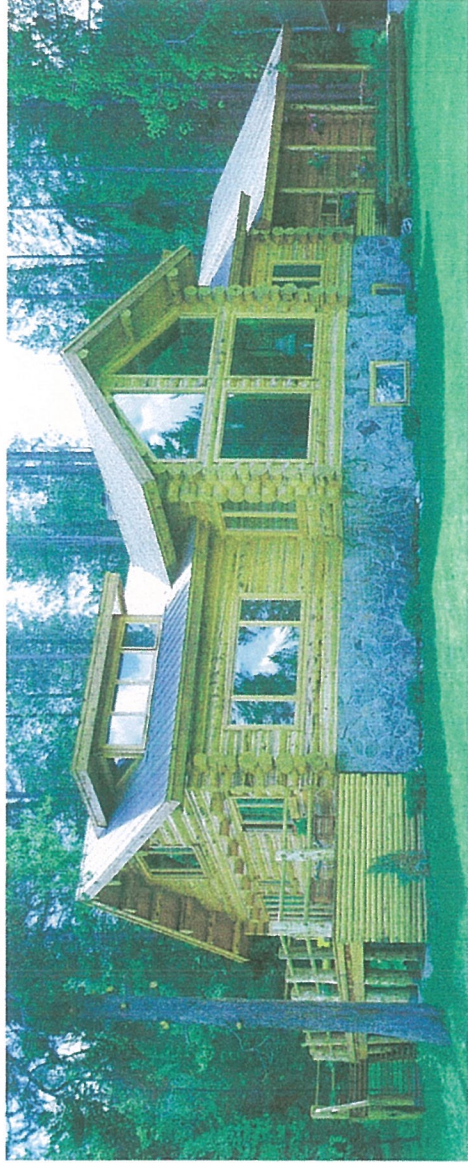
From the moment you arrive at Canyon Ferry Crossing, you know you are in a very special place. The natural setting of the site is spectacular with panoramic views of the mountain peaks and Canyon Ferry Lake. The vast national forest adjacent to Canyon Ferry Crossing provides a home for abundant wildlife and allows access to a multitude of recreational activities. The Design Guidelines for Canyon Ferry Crossing are written to ensure that the development of this community is equal in quality with its magnificent setting. The underlying philosophy for the design and development of Canyon Ferry Crossing is to create an exceptional residential community that preserves and enhances the surrounding natural environment. To achieve this goal, a great deal of time and energy was spent on planning and designing Canyon Ferry Crossing. This effort produced homesites located to maximize the preservation of trees, minimize site disturbance and, at the same time, provide unparalleled features such as superb views, open space, nature corridors and recreational access.

The Community

During the early planning and design of Canyon Ferry Crossing, potential homesite locations were surveyed and evaluated in the field. As a result of this process the overall number of homesites was reduced and the location of each homesite was continually modified in order to ensure the utmost quality in terms of views, terrain, orientation and privacy. Building Envelopes have been established for every homesite in order to ensure that the design and construction of individual homes is sensitive to the natural environment. The Building Envelope defines a specific location within each lot where all improvements are located. The main objectives for locating Building Envelopes was to identify the portion of each home site that would allow the design of a home to optimize views, privacy, solar orientation, vegetation, and other attributes while at the same time, minimizing impacts to the natural features of the site.



The homes & homesites of Canyon Ferry Crossing must be designed to preserve and enhance the natural environment.



DESIGN GUIDELINES
FOR CANYON FERRY CROSSING
SECTION I - COMMUNITY OVERVIEW

The Purpose of the Design Guidelines

Overview & Intent

There are few creative opportunities that equal the excitement and experience of designing and building your own home. From the initial design sketches, through ground breaking and construction, to adding the final finishing touches, the process of creating a unique home can be a very rewarding experience.

These Design Guidelines provide a design "theme" for every home within the community of Canyon Ferry Crossing. They are written to inspire innovative and creative home designs, but are not intended to be used as a restrictive set of rules. The drawings and pictures found in this document are conceptual and are open to creative interpretation by design professionals. These Design Guidelines will remain flexible over time, creating the opportunity to respond to market trends and property owner's needs.

The Guidelines are a framework that provides the homeowner with a method of directing their builders and designers, while maintaining consistent, quality design throughout the neighborhood.

The Architectural Review Committee (ARC) and the master developer, Canyon Ferry Crossing LLC, are committed to achieving the highest practical quality and design of the built environment in Canyon Ferry Crossing through their relationship with knowledgeable property owners and their representatives in a spirit of cooperation.

The design guidelines are written in order to achieve the following objectives:

- Establish clearly defined design and construction standards for all buildings and improvements;
- Preserve and enhance Canyon Ferry Crossing's existing natural environment;
- Encourage a characteristic architecture and landscape design that communicates Canyon Ferry Crossing's design theme;
- Protect each owner's investment in their home through compliance with high standards for design and construction; and
- Establish a design/review process to assist owners and their design team with the design/review and construction process.

These Design Guidelines are the means to preserve the individuality, quality, integrity and enduring value expected by every homeowner.

Organization & Content

The Canyon Ferry Crossing Design Guidelines are organized into six sections:

Section I - Community Overview; provides the overview and vision of the Community, and the intended use of the guidelines.

Section II - Community & Neighborhood Character; provides information regarding themes and features within Canyon Ferry Crossing.

Section III - Architectural Design Manual; illustrates specific descriptions, images and sketches communicating the Canyon Ferry Crossing style of architecture and their appropriate use.

Section IV - Site Planning & Landscape Design Manual; includes site planning criteria and landscape requirements.

Section V - Design Review & Approval Process; outlines the procedures to gain approval for home design and construction.

The architectural and landscape elements promote cohesiveness throughout Canyon Ferry Crossing. The community landscape standards establish the overall landscape character and theme. Additionally, they act as a catalyst for the development of a community composed of native and ornamental plant materials as well as landscape finish treatments.

The Design Guidelines, along with the Covenants, Conditions and Restrictions (CC&R's) are intended to preserve and maintain the inherent qualities of the property. They also support the protection and promotion of property values within the Canyon Ferry Crossing Community.

The successful implementation of the Design Guidelines will guarantee the continuation of the natural attraction of Canyon Ferry Lake, Helena National Forest and the Community of Canyon Ferry Crossing as a desirable environment in which to live and recreate.



▲ Log style home with varying roof forms.

DESIGN GUIDELINES
FOR CANYON FERRY CROSSING
SECTION II - COMMUNITY & NEIGHBORHOOD CHARACTER

Community Character

Community Identity & Themes

There is no single recognized architectural style that expresses the Canyon Ferry Crossing design theme. Rather, these guidelines establish a framework in which all homes and improvements draw inspiration from the same design vocabulary. The Canyon Ferry Crossing design theme is reinforced by an architectural style that complements the natural surroundings rather than overpowers the landscape.

The Canyon Ferry Crossing theme is the primary influence that characterizes the community's lifestyle, amenities, landscape and architecture. Canyon Ferry Crossing:

- offers traditional charm and substance rather than a contemporary facade of glitz and glamour;
- captures the friendly spirit and the unhurried lifestyle of its scenic, serene, rural location;
- is high quality wool rather than silk or cashmere;
- is traditionally tailored rather than high fashion;
- is fieldstone and natural cedar, rather than polished brass and crystal chandeliers;
- is comfortable, cozy and confident rather than showy, luxurious and anxious; and
- in design and execution will be a distinctive balance of traditional good taste, timeless character and classic beauty.

Design principles used to accomplish our goal include the use of a limited number of predominately natural building materials and generally muted earth tone colors that will visually blend buildings with their site. Over time, the unifying design elements found in all homes and improvements will establish a distinctive sense of place for Canyon Ferry Crossing and in doing so establish the "Canyon Ferry Crossing Design Style."



▲ *The Canyon Ferry Crossing Sales Office nestled between the Canyon Ferry Lake & Big Bell National Forest.*

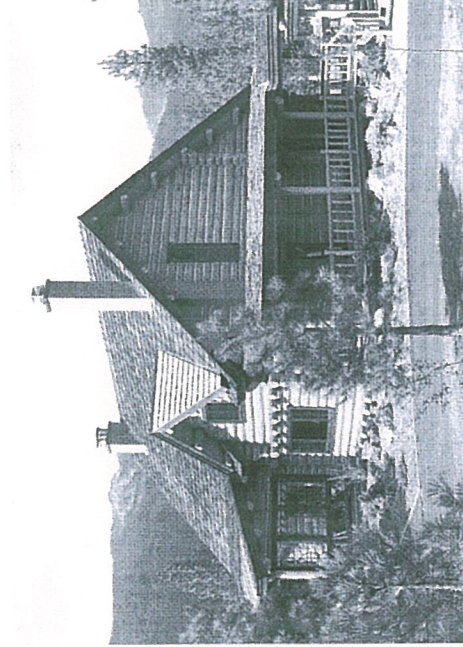
While it is the objective of these Guidelines to encourage a unified design theme and overall construction quality for Canyon Ferry Crossing, each home at Canyon Ferry Crossing will be treated as a one of a kind residence that responds to its individual site and location within the spirit of the design standards and procedures.

It is not the intention of these Guidelines to suggest that all homes must look alike or use identical building materials. Instead, these Guidelines are written to establish a framework or context for the design of all homes and improvements and to encourage architectural harmony in the design of homes and their relationship to the environment.

Throughout these guidelines you will find examples and descriptions of various architectural styles that are appropriate or inappropriate applications for Canyon Ferry Crossing. Regardless of what style is chosen, the important factors are a balance of form, massing, scale and siting within the community.



▲ *The home massing at one with the natural setting.*



▼ *Entry porch provides an inviting, human scale.*

Residential Overview

The rich character and personality of Canyon Ferry Crossing is established through the consistent application of the appropriate architectural styles described herein in concert with the Canyon Ferry Crossing theme. Examples of appropriate architectural styles are:

- Timber Style
- Log Home Style
- Contemporary Folk
- Craftsman Style
- Bungalow
- Prairie
- Mountain Ranch
- Country (Midwest Traditional, French, etc.)

Pure and contemporized versions of the appropriate styles are accepted.

Inappropriate examples are:

- Colonial French
- Shingle Style
- Queen Anne
- Folk Victorian
- Spanish
- Italian Renaissance
- Modernistic
- International
- Greek Revival
- Second Empire Victorian
- "A" Frame, Octagonal or Round shaped home styles

The primary goal of the Design Guidelines is to create homes with proper balance, form, massing and scale. The following basic criteria establishes the essential characteristics that will promote and support these goals:

- Balanced massing either symmetrical or asymmetrical
- Strong roof forms either gabled, hipped and shed are preferred, various combinations of the three are encouraged
- Entry statement strong, yet proportional with the overall structure
- Long horizontal masses broken and counter-balanced by strong verticals
- Front, side and rear covered porches
- De-emphasis of the garage from the street frontage
- Reduction of two story impact at front and rear orientations
- Detailing indicative of the historical style
- Windows and doors positioned proportionately within the facade elevation in which they are applied
- Harmonious placement of the home with the site and surrounding landscape features
- Colors of soft earth tones, accented with rich accent colors on doors, windows, shutters, etc. as appropriate

The following pages of this section will serve as a benchmark for the design of the homes within Canyon Ferry Crossing. These guidelines will ultimately enable the Architectural Review Committee (ARC) to facilitate the design review process.



Windows in this Log Home Style capture the distant mountain views.



This Timber Home is accented with stone and a variety of window treatments.

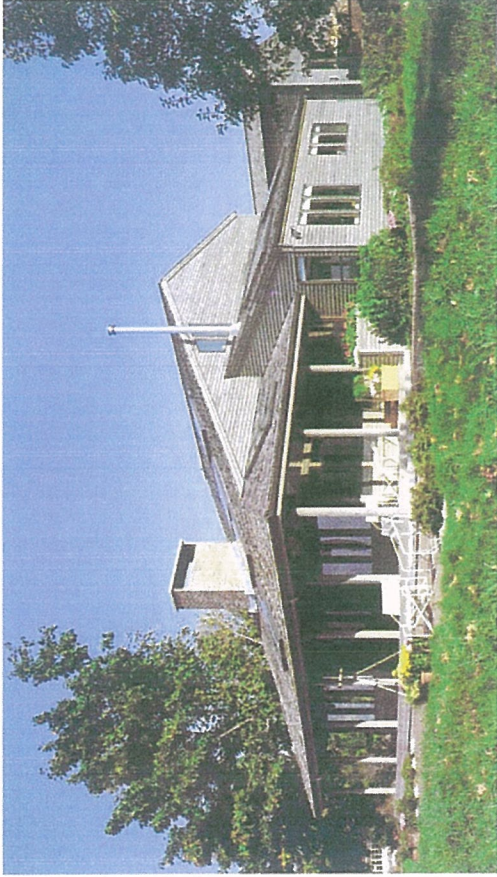
Design Criteria

Siting, Massing, Scale & Proportion

The dominance of nature over the built environment is one of the most important traits of the rural/suburban character. The home should be oriented and designed in response to the individual characteristics of the site and its context. Integration with the topography, trees and vegetation, as well as other natural features of the land are of the utmost importance.

The massing of the home should be organized as a whole and should not appear as a mixture of unrelated forms. The massing of the forms should be established by the element's characteristic of the architectural style.

The features and elements of Canyon Ferry Crossing preserve and contribute to the human scale throughout the community. Bulky homes and homes that "overwhelm" the natural setting are discouraged. Specifically, simple two story box massing with little or no relief (e.g. Colonial, Italian Renaissance, Greek Revival, etc.) is not acceptable. By adding horizontal interplay to the massing, positive and negative space is kept in careful balance with the overall site, creating a positive expression of the home to the Canyon Ferry Crossing style and the community.



▲ *One story Timber style.*



▼ *Combination of materials soften scale and proportion.*



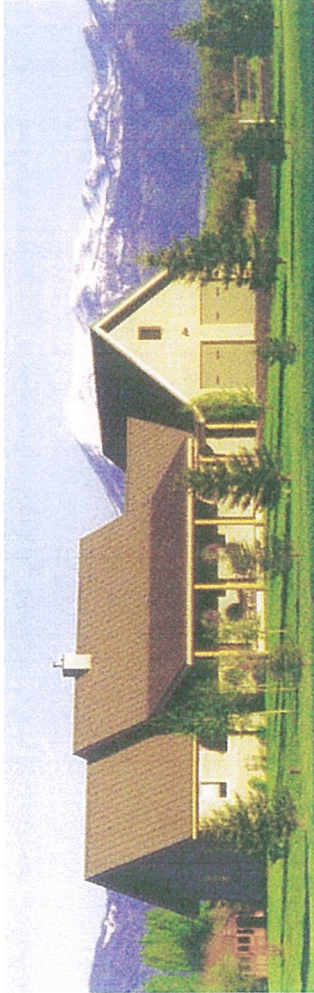
▲ *Varied roof lines and simple but unique material treatment create an attractive home.*

DESIGN GUIDELINES
 FOR CANYON FERRY CROSSING
 SECTION III – ARCHITECTURAL DESIGN MANUAL

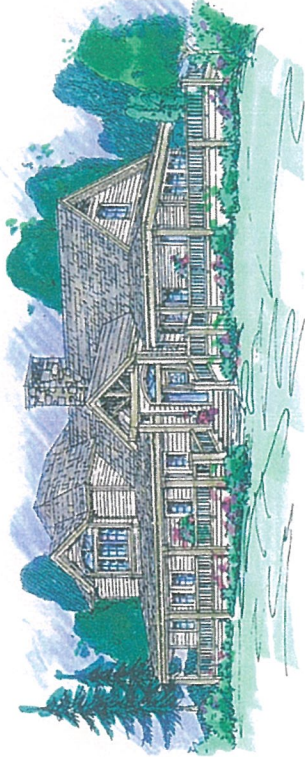
Appropriate Architectural Styles

The following are appropriate architectural styles permitted within Canyon Ferry Crossing:

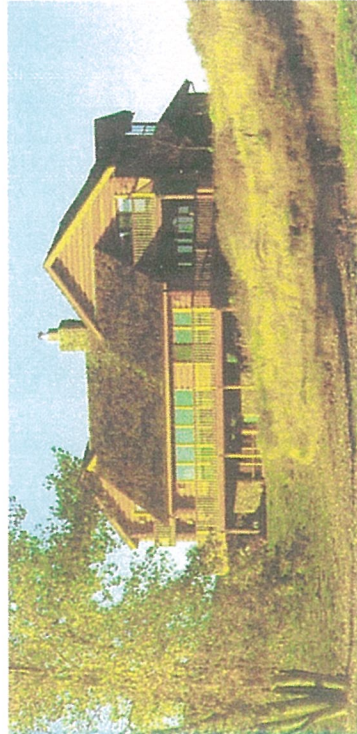
- Log Home
- Timber
- Contemporary Folk
- Craftsman
- Bungalow
- Prairie
- Mountain Ranch
- Country (Midwest Traditional, French, etc.)



Mountain Ranch style with wood siding & accented by log deck supports. ▲



▲ *This two story Timber style massing is reduced by a one story roof over the porch area.*



Log home style with oversized deck. ▲



Mountain Craftsman style in stucco and stone. ▲

Appropriate Architectural Styles
(continued)



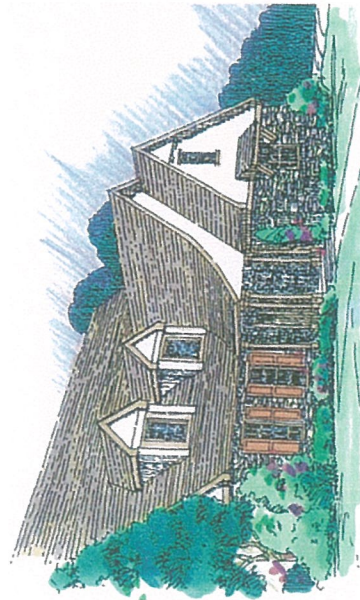
▲ *Mountain Ranch Log Home style.*



▲ *Two story Log Home.*



▲ *Contemporary Folk.*

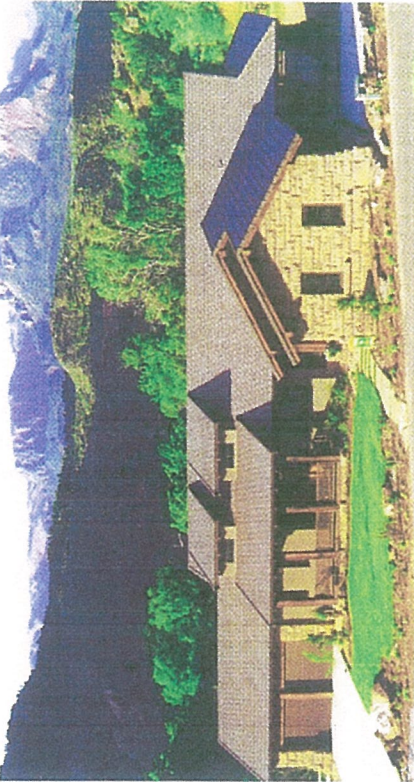


▲ *Country French.*



▲ *Country Midwest Traditional.*

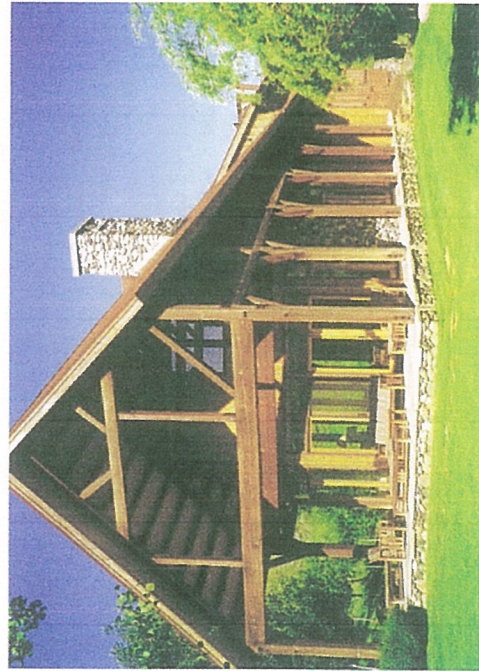
Appropriate Architectural Styles
(continued)



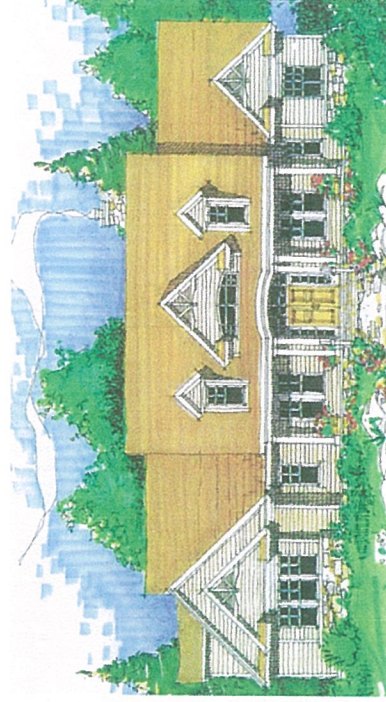
▲ Mountain Ranch Log Home.



▲ Prairie.



▲ Two story Timber home with one story profile.

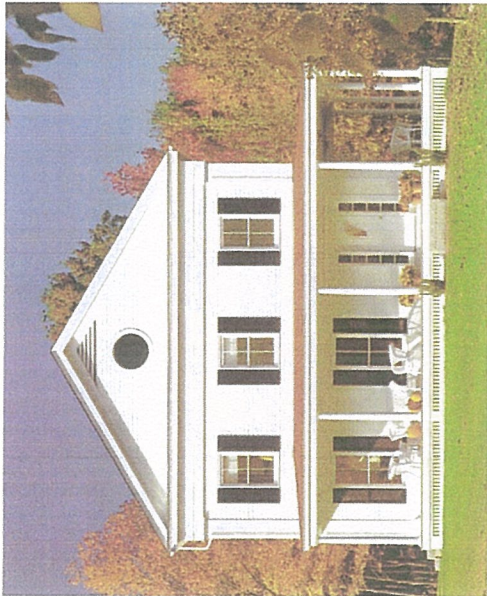


▲ Mountain Bungalow.

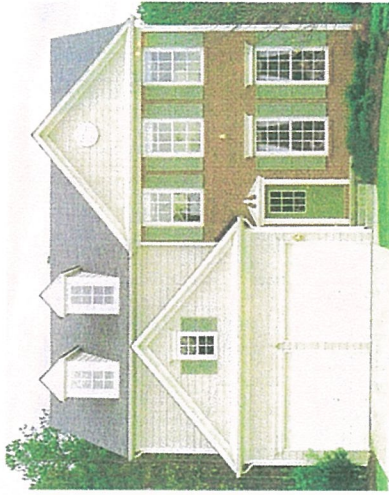
Inappropriate Architectural Styles

The following inappropriate architectural styles are not permitted within Canyon Ferry Crossing:

- Colonial
- French Colonial
- Shingle Style
- Queen Anne
- Folk Victorian
- Spanish
- Italian Renaissance
- Modernistic
- International
- Greek Revival
- Second Empire Victorian
- Other similar styles



▲ *Greek Revival.*



▲ *Contemporary Colonial.*

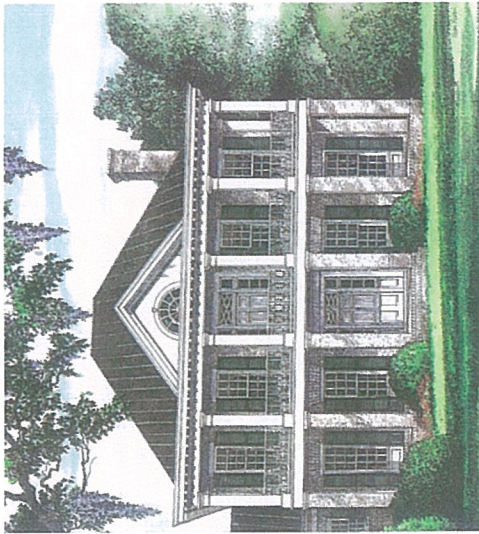


▲ *English Tudor.*



▲ *Spanish Mediterranean.*

Inappropriate Architectural Styles
(continued)



▲ *Plantation – Creek Revival.*



▲ *A-Frame.*



▲ *Spanish.*



▲ *Victorian.*



▲ *Georgian.*



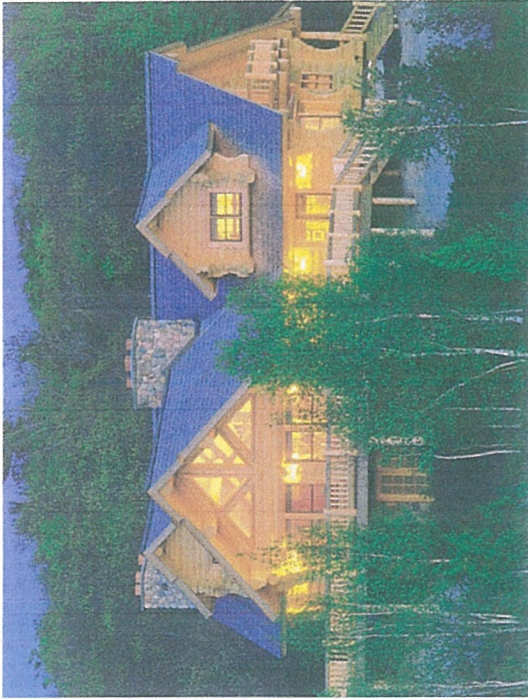
▲ *French Colonial.*

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FOR CANYON FERRY CROSSING
SECTION III – ARCHITECTURAL DESIGN MANUAL

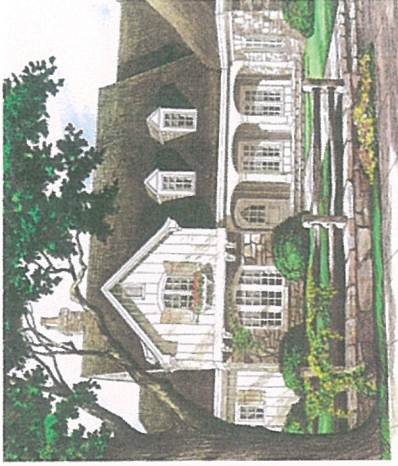
Siting, Massing & Scale

The following techniques are appropriate means to achieve proper massing, scale and proportion:

- Mixture of one and two story components within a two story home
- Varied setbacks for various components of the home such as garage, 2nd floors, etc.
- Utilization of eels and porches
- Staggered offset wall planes on each facade
- Massing characterized by a series of stepping forms
- Homes at one with the land, giving the sense of permanence



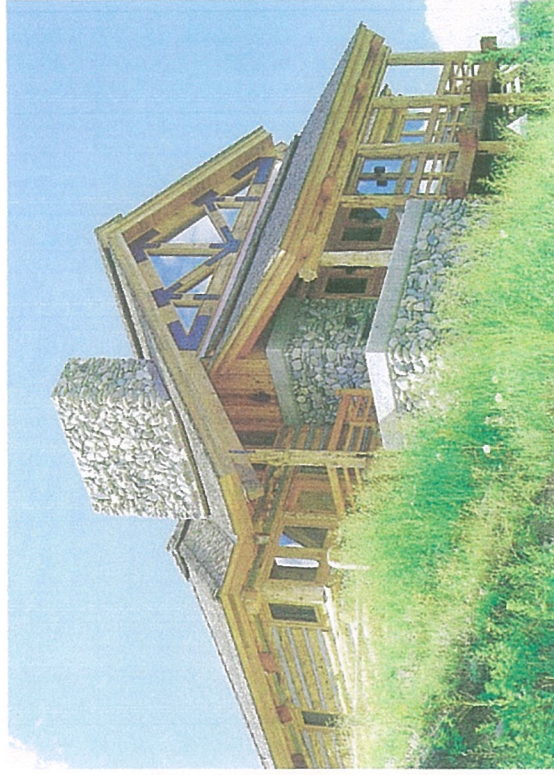
▲ *Appropriate siting of a hillside home.*



▲ *Multiple roof elements & detailing combine with a classical porch design to reduce the overall scale.*



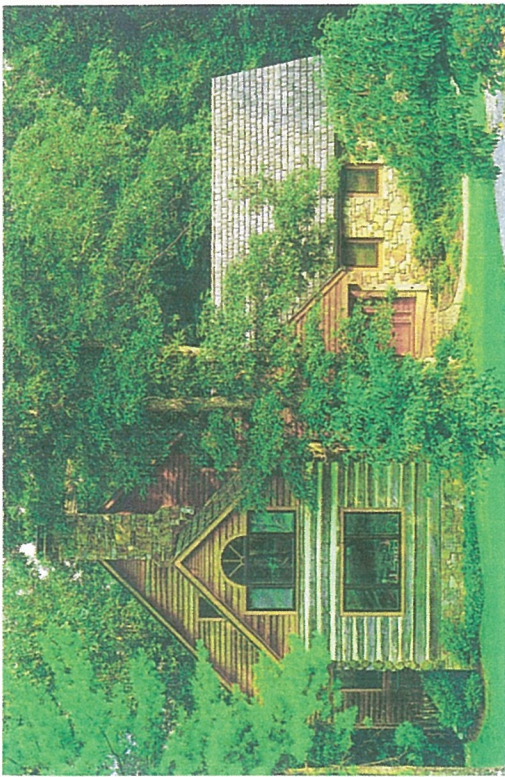
▲ *Varied roof heights reduce this 2 story home to a 1 story appearance.*



▲ *Strong use of stone & wood timbers conform the massing to the hillside.*

DESIGN GUIDELINES
FOR CANYON FERRY CROSSING
SECTION III – ARCHITECTURAL DESIGN MANUAL

Siting, Massing & Scale
(continued)



▲ Mixture of log, timber & stone materials break down the massing & scale.



▲ Uphill homesite provides an entry element at the street level.



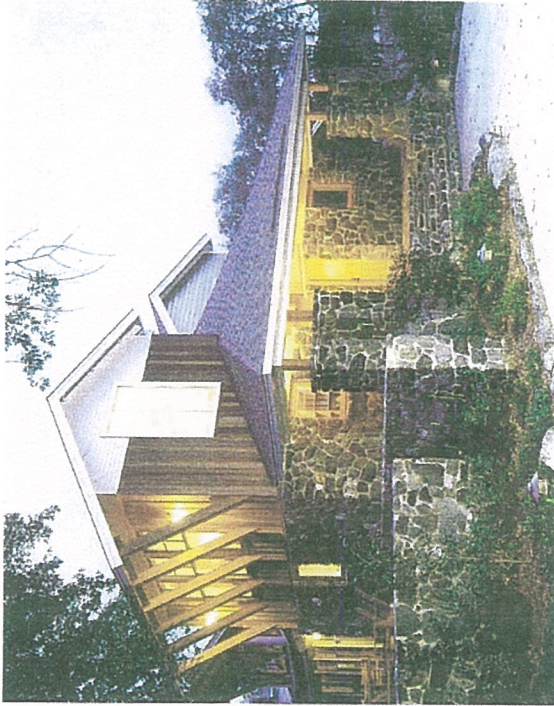
▲ Low, broad, single story base plane & symmetry within asymmetrical massing.



▲ Roof forms conforming to the sloping hillside.

Roof Form & Configuration

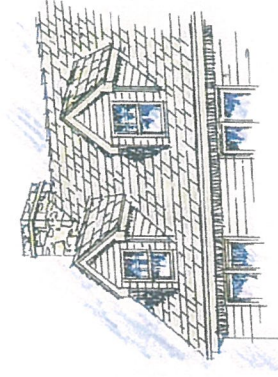
- Primary roof forms of gables and hips with multiple combinations
- Shed roofs may be applied to main roof forms for applications such as at porches, garages entrances and dormers
- Roof pitch minimum is 5:12 and maximum is 10:12. Shed roof pitch may be reduced to 3:12 when appropriate
- Punctuated roof planes with window or vented dormers
- Minimum of 12" eave overhang
- Second stories blended into a one-story roof plane
- Flat roofs and mansard forms are inappropriate



▲ *Unique timber detailing supports gable overhang.*



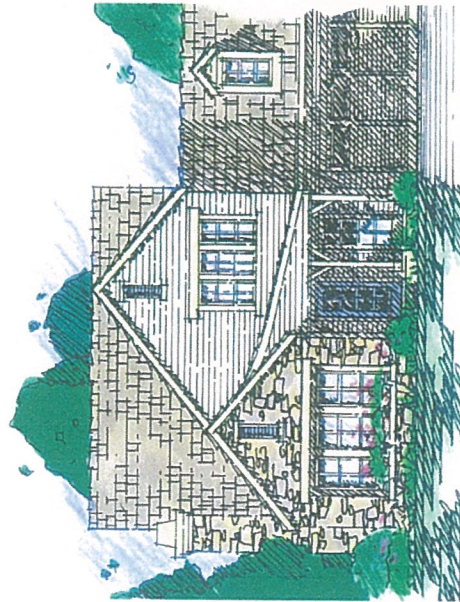
▲ *Colored metal roof.*



▲ *Roof lines punctuated by gable dormers.*



▲ *Intersecting gable roofs.*



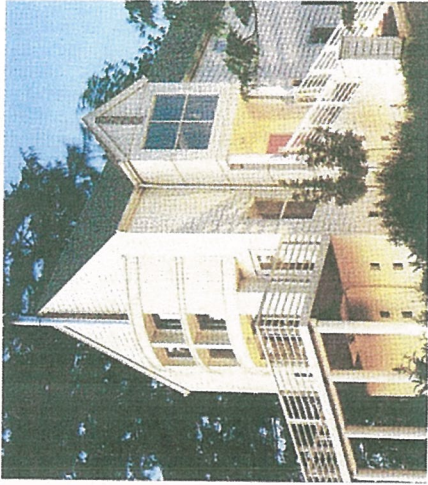
▲ *Sited roof over entry porch.*



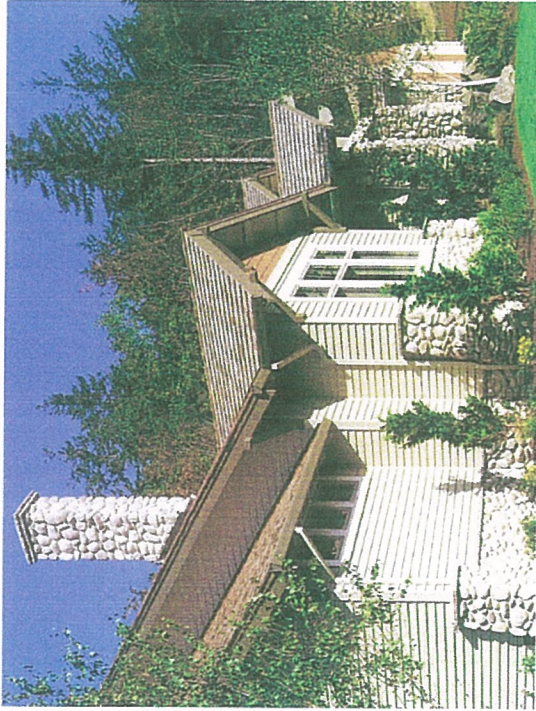
▲ *Shed roof dormer penetrating roof plane.*

Building Exterior Treatment

- Combinations of the various approved finish materials with a maximum of three (3)
- Use of material change (vertical and/or horizontal) to break-up building form and create movement along each facade
- Walk-out basement walls should be treated as an extension of the main structure, using materials such as stucco and stone to form the base and transition to the ground plane
- Exposed concrete footings and foundations are not permitted to exceed 6" above finished grade
- Finish materials (such as stone or brick) are not to terminate on outside corners; rather, they are to wrap or return around corners a minimum of 24"



▲ *Horizontal siding penetrated by vertical stucco elements.*



▲ *Stone wainscot base material of stone wraps (returns) on outside corners approximately 24".*



▲ *Strong horizontal material patterns.*



▲ *Material change forms the foundation of the home to surrounding landforms.*



▲ *Horizontal material patterns penetrated with varying roof elements.*

Porch & Deck Details
(continued)



▲ Stacked stone deck foundation.



▲ Entry & front porch combination.



▲ Tree trunks used as a unique
2nd floor deck rail design.



▲ Wrap-around deck establishes the foundation for this home.

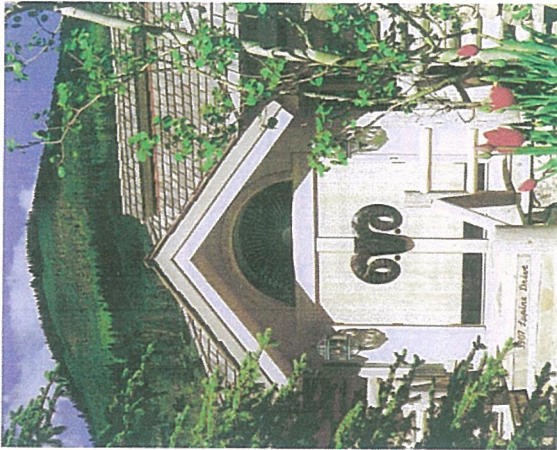


▲ Attractive log balcony design

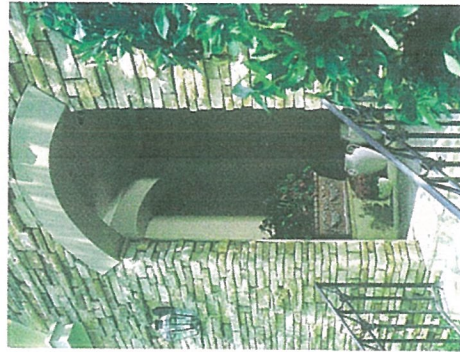
DESIGN GUIDELINES
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SECTION III – ARCHITECTURAL DESIGN MANUAL

Entrance Forms

- Entries should be a prominent element, inviting and elegant within the home's context
- Minimum width of 6'-0" is recommended
- Maximum height 1 ½ story
- Columns of wood and stone are encouraged, proportionate with the scale of the entry
- Side lights and transoms are encouraged at entry doors



▲ Custom doors show homeowner individuality.



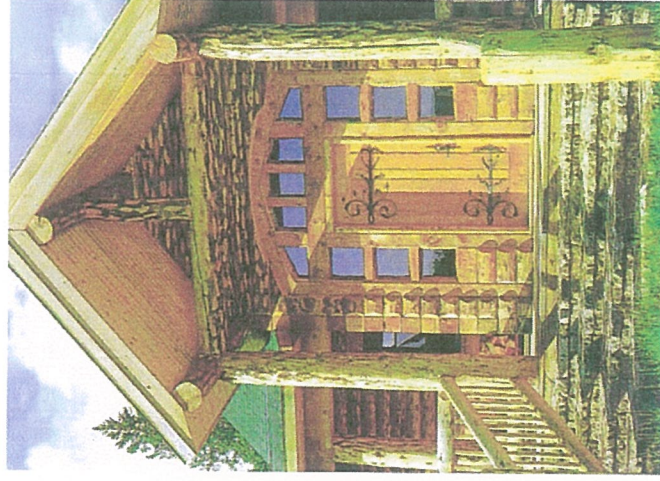
▲ Stone entry with pre-cast arched lintel.



▲ Wood columns & beams bring prominence to the entry.



▲ Craftsman style entry.



▲ Side lights & transom window surround a hand hewn log entry.

Entrance Forms
(continued)



▲ One story shed roof at entry porch.



▲ Entry porch with balcony above.



▲ Exciting use of timbers bring attention to the entry.

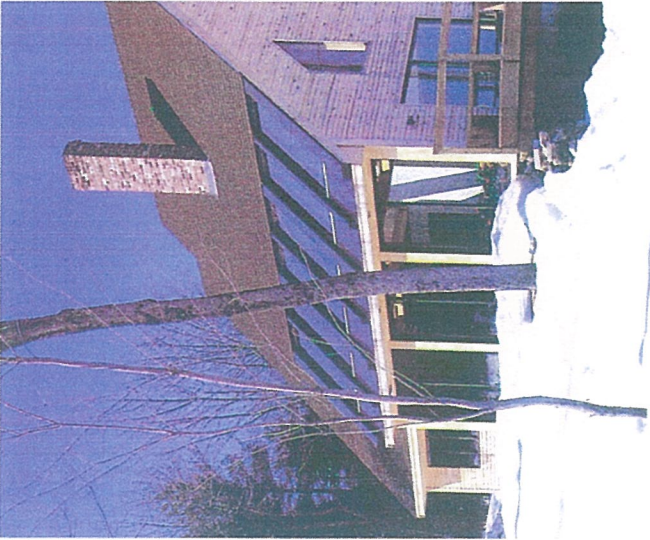
Doors & Windows

- Window projections and window/door detailing patterns should be compatible in scale with the house and the architectural style. Large wall planes with undersized windows and minimal detailing are inappropriate
- Window header heights should adjust in proportion with varying plate heights
- Window sill heights, at front facades, should adjust in proportion with varying plate heights
- Window transoms must be proportionate in the wall plane. Careful attention to the proportion of wall surface height between the top of window/transom to fascia/rake should be considered
- Window and door treatment characteristics include:
 - All doors and windows must be trimmed
 - Half and soft (flattened) arch
 - Multi-paned
 - Oversized shutters, matching window shape and proportions
 - Bowled or angled bays
 - Stone, brick, wood and quoin window and door surrounds
 - Front doors with sideights and transoms
 - Planters and pot shelves
 - Doors with lintels and border stone surrounds
 - Accent windows in various shapes (round, oval, hexagonal, etc.)
- Reflective and mirror glazing is prohibited

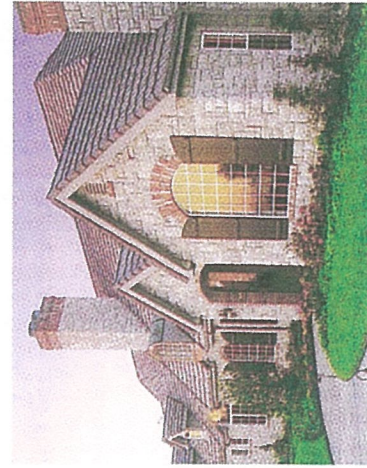
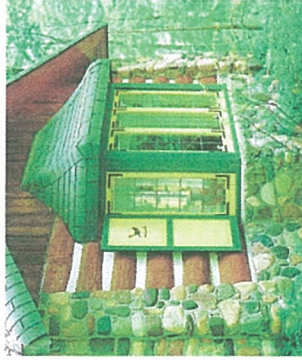
▼ Solid glass walls expand the indoor space to the outdoors.



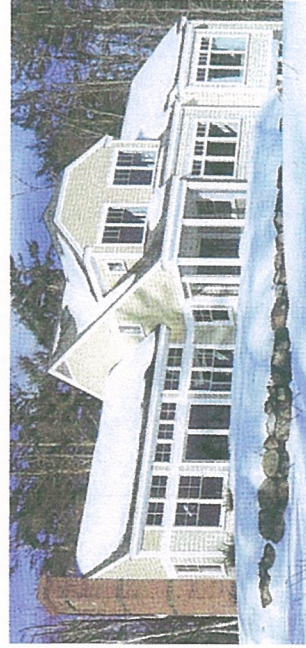
▼ Skylights blend into the roof form & color.



▼ Bay window accented with personalized touches of color.



▲ Arched window theme set off by shutters.

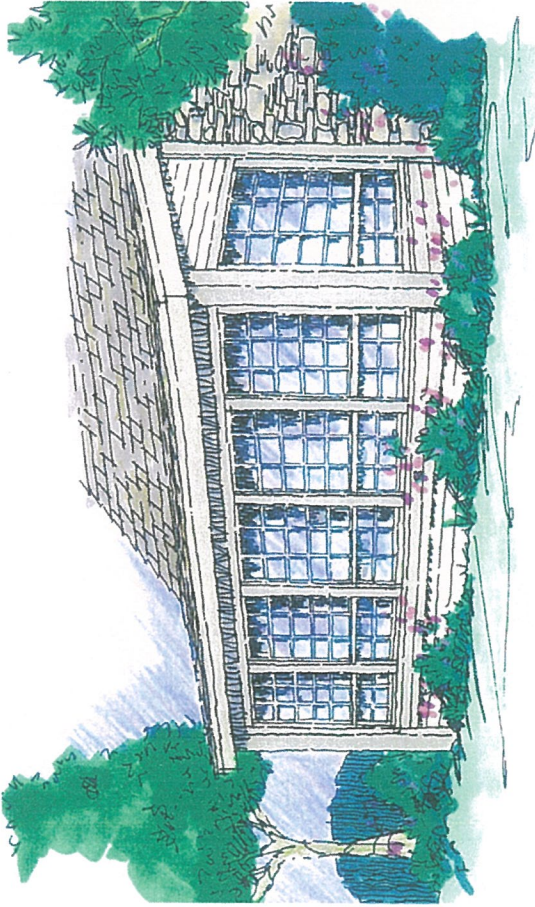


▲ Consistent window theme applied to all home facades.

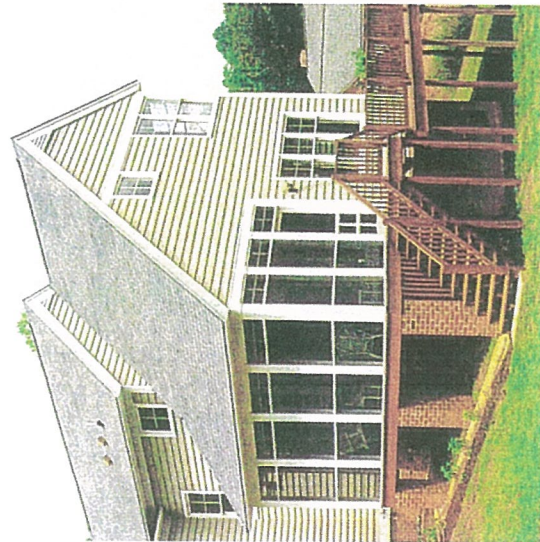


▲ Custom entry doors & windows.

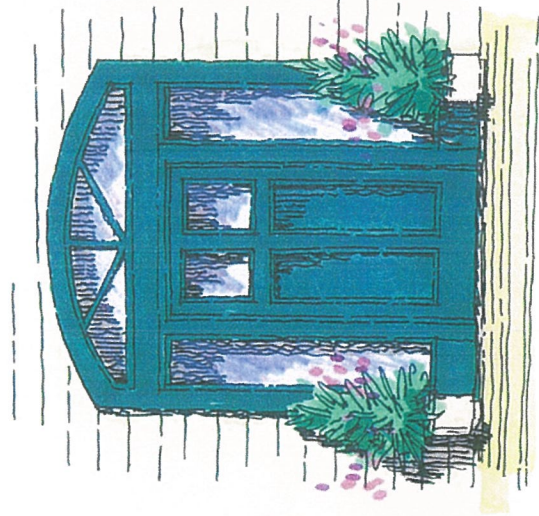
Doors & Windows
 (Continued)



▲ *Windows creating a light & airy sunroom.*



▲ *Stacked wrap-around windows.*



▲ *Entry door with side lights & transom.*



▲ *Accent transom windows capture distant views.*

Garages & Accessory Buildings

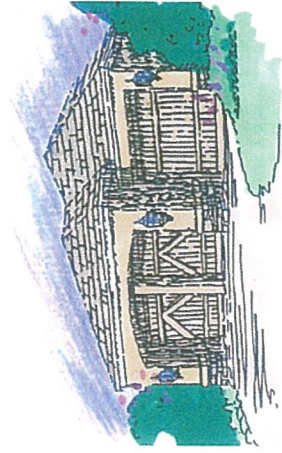
- Garages with a minimum capacity of two cars, plus two off-street parking spaces, are required
- Garages may be integrated into the main structure, totally detached or connected to the home through the use of a breezeway, patio, garden room or other similar elements
- Integrated garages should be visually removed to reduce the impact onto the street
- Each garage may have a separate bay or maximum double bay facade
- Rear, three/four-car tandem, split design and subterranean garages are allowed
- Split and/or separate garage doors are encouraged
- All garages must be fully enclosed, carports are permitted, provided that a two car (or greater) garage is built
- A variety of garage entry conditions are encouraged:
 - Split garages with motor court configuration
 - Side load
 - Deep garages with abundant amenities
 - Subterranean rear or side entry
 - Tandem
 - Rear lot location
- Accessory buildings or out-buildings are permitted. Requirements for accessory buildings are:
 - Structures should appear one story in profile, with a maximum of 1 1/2 stories
 - Uses include sheds, detached garages, guest houses, pool houses, barns, stables, etc.
 - Stand alone or be connected to the main dwelling by a breeze-way or walled-in porch
 - Structurally and visually compatible with the main dwelling
 - Design must reflect the selected architectural style and use similar exterior materials



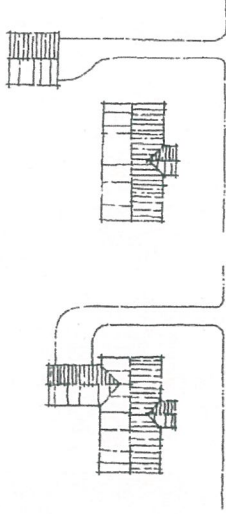
▲ Garage set back to rear of homestead.



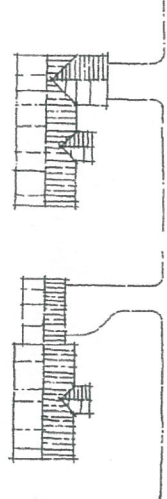
▲ Detached garage.



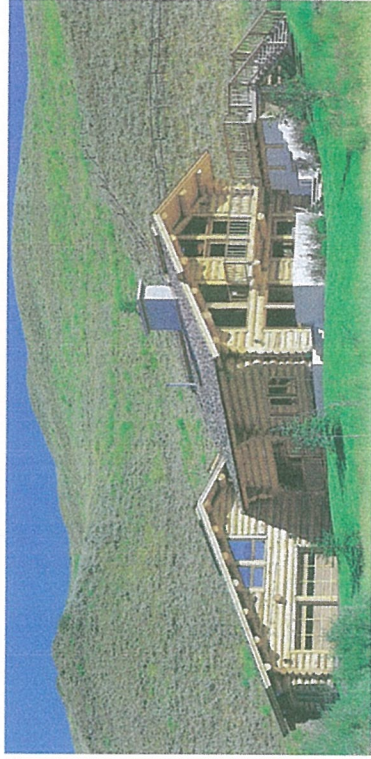
▲ Off-set 3 car garage with single doors.



▲ Appropriate garage locations.

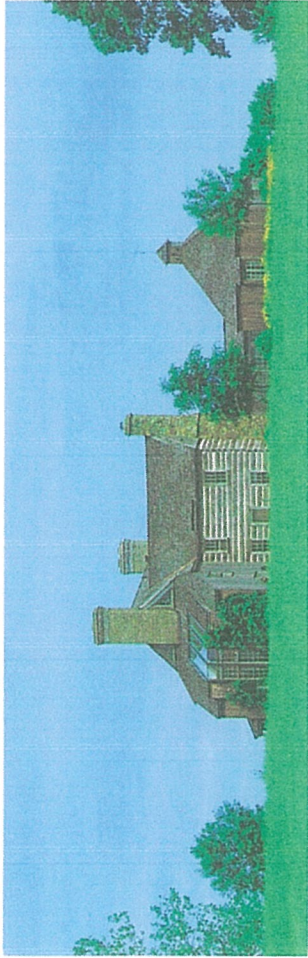


▲ Inappropriate garage locations.

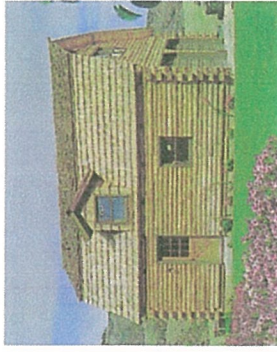


▲ Downhill garage location.

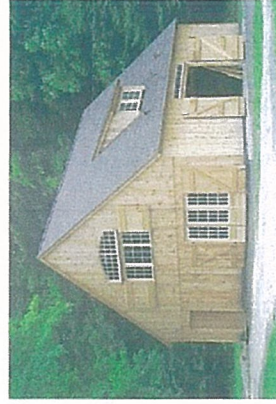
Garages & Accessory Buildings
(continued)



▲ Garage attached to home via breezeway.



▲ Deck overhang & large log columns de-emphasize the garage doors below.



▲ Various barn styles.



▲ Dog house design compatible with the home.



▲ Guest cabin.



▲ Work / storage sheds.



▲ 1 1/2 story horse stable.

Distinctive Details & Features

The Canyon Ferry Crossing Design Style includes a variety of traditional details and features due to the wide range of architectural styles found throughout the region. Examples of these include:

- Traditional log and/or timber construction detailing
- Roof dormer vents in various shapes and sizes
- Louvered vents at gable ends
- Lighting fixtures
- Trellises
- Chimneys in stone, stucco and siding
- Wood corbels
- Wainscoting which transitions material change
- Shutters (wood and vinyl) are acceptable
- Knee braces at columns and cantilevered elements
- Frieze boards



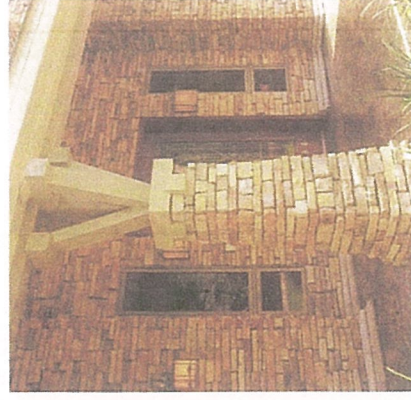
▲ Trellis & knee brace as a common design theme.



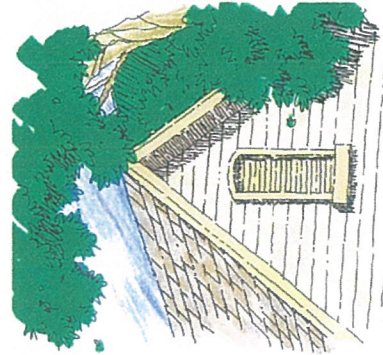
▲ Cantilever supported with timber bracing.



▲ Trellis entry element.



▲ Craftsman style stone column with angled wood knee brace supports.



▲ Gable end vent.

Distinctive Details & Features
(continued)



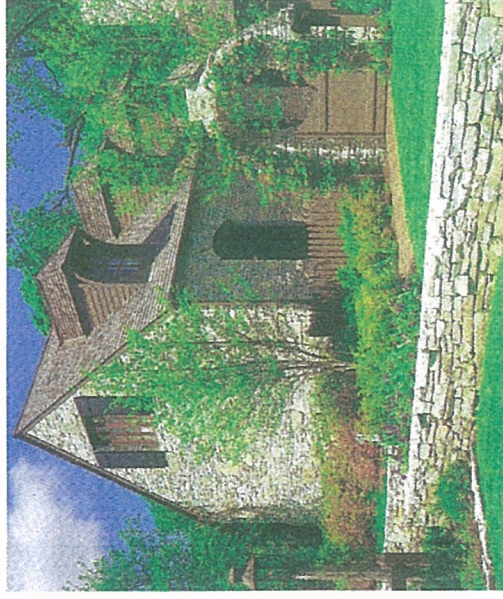
▲ Planter boxes add a personal touch.



▲ Traditional Log home detailing.



▲ Stone chimney.



▲ Privacy wall combined with a gated stone arbor.

Materials & Color

Building Materials

Building materials are an important element in maintaining the overall community character of Canyon Ferry Crossing. The imaginative use of materials can be combined to create unique designs and distinctive individual identity to each home.

■ Exterior Wall Surfaces

A combination of materials and/or finishes is encouraged. To ensure the general character of Canyon Ferry Crossing, earth tones, natural finishes and off-white colors are the most appropriate.

Appropriate Materials include:

- Natural stone veneer is encouraged using the muted color of Montana stone varieties; alternative stone selections will be subject to ARC approval (simulated, faux or stucco stone is permitted)
- Rubble, ashlar and flagstone stone cuts with joints raked, pointed or drystacked
- Stucco is permitted in limited quantity
- Lapped, tongue and groove and ship lapped wood siding (wood fiber, fiberglass, metal, hardboard or vinyl siding which is substantially similar in appearance to wood is permitted)
- Wood fascia, rakes, frieze and trim (all windows and doors must be trimmed)
- Exposed wood timbers & columns
- Traditional or “stacked” natural logs

Inappropriate Materials include:

- Exposed concrete
- Reflective finishes such as mirrored glass
- Laced (Spanish and adobe stucco finishes)
- Plywood (including T-1-11)
- Brick
- Pressure treated logs and timber
- Block
- Asphalt or shake wall shingles
- Metal (except for wood look alikes)

■ Roof Material

Appropriate Materials include:

- Asphalt shingles (Architectural profile, 25 year min.), slate, concrete flat tile and non-reflective raised seam metal roofs
- Monochromatic roof shingles are not permitted, combinations of earth tones are preferred
- Use of copper, tern, zinc, etc. will be allowed as subject to ARC approval

Inappropriate Materials include:

- Standard thickness asphalt shingles
- Any type of barrel or “S” roof tiles
- Flat roofs except at covered porches and entry porticos
- Asphalt rolled roofing
- Reflective metal surfaces
- Wood shingles
- All other roofing materials not mentioned are prohibited

■ Paving Materials (Sidewalks and driveways)

Appropriate Materials include:

- Natural stone
- Exposed aggregate (natural stone color)
- Gravel or crushed rock
- Concrete
- Pre-cast concrete pavers
- Turf block (grass-crete or equal)
- Interlocking concrete paver
- Predominately black or gray colored pavement
- Asphalt

Inappropriate Materials include:

- Polished stone
 - Glazed ceramic tile and composite tile
- #### ■ Chimneys (for fireplaces)
- Stone, stucco and siding, alone or in combinations are acceptable (consistent with other materials used on the residence)
 - Exposed metal flues are not acceptable, except for furnaces which are required to be painted to match roof color
 - Caps must be painted to complement the home

■ Skylights

Appropriate Materials include:

- Designed as an integral part of the roof
- Glazing must be clear, solar bronze, or white
- Framing material must be bronze or color to match the roof

Inappropriate Materials include:

- Reflective glazing
- Natural aluminum framing

■ Windows, Doors and Garage Doors

- Wood or wood clad (aluminum or vinyl) windows are encouraged. Painted aluminum and vinyl are permitted
- Natural aluminum is prohibited
- Wood, metal and vinyl lift-up, barn style and sectional roll-up garage doors are permitted
- Garage door colors should blend into the overall color scheme to de-emphasize the prominence of the door

■ Fencing and Patio Walls

- All fencing is to be compatible with the materials, color & style of the home
- Ornamental iron and other metal fencing is subject to ARC approval
- Chain link or chicken wire fences are prohibited (except for approved deer fences or dog runs)
- Electric dog fences are encouraged and must be set back a minimum of five feet (5'-0") from the property line
- Perimeter fencing for horse properties only

■ Vents

- All vent stacks and pipes must be colored to match the adjacent roof or wall material
- Vent stacks should be grouped on the side or rear of the roof when possible
- Vents should not extend above the ridge line

■ Antennas

- Homeowners may not install any television, radio or citizen band (CB) antenna, satellite dish larger than 24 inches in diameter, or other electronic receiving or broadcasting device on the exterior of any house or structure, unless not visible from other homesites. Exceptions are to be made on a case by case basis by the ARC

■ Solar

- Passive solar design is encouraged
- Active solar applications can result in excessive reflective glare, and would only be approved by the ARC if the hardware is sufficiently integrated into the structure or landscaping of a homesite so as to appear unobtrusive from any other homesite or property

■ Color

- Color acts as a theme-conveying element reflective of the Canyon Ferry Crossing style. Subdued colors, earth tone in nature, blend naturally with the setting and should be used as predominant colors throughout the community. Individual design expression through the use of rich accent colors is permitted on specific elements such as entry doors, windows, fascia and shutters. The Canyon Ferry Crossing Architectural Review Committee must evaluate the use of bright, vibrant exterior colors on a case-by-case basis
- A wide range of trim and accent colors is permitted on houses to add variety and character to the community. They are to be consistent with the context of the architectural theme

Site Planning Criteria

Building Coverage

All homesites have a Building Envelope that defines the recommended location for all buildings and improvements on a homesite. The specific Building Envelope for each homesite has been determined by the land planning designer. The location of the Building Envelope was determined based on site specific considerations of each homesite. The first objective for defining the Building Envelope was to identify the portion of each homesite that would allow the design of a home to optimize views, privacy, solar orientation and other attributes of the homesite. Second, the location of the Building Envelope minimizes the visual impact of development and maximizes the physical separation between homesites. Third, the Building Envelope encompasses a "buildable" portion of the site that also has the potential for convenient access from the Canyon Ferry Crossing road system.

Finally, the Building Envelope directs construction away from environmentally sensitive areas and natural features of a homesite such as drainage courses, stands of trees and rock outcroppings.

It is the intention of these Guidelines that all structures and site improvements such as patios, pools, accessory buildings, guest houses and landscape features be located within the Building Envelope. At the same time, however, the Building Envelope should be thought of as a guide and not a "hard line." It is recognized that the design team for a new home may develop suitable design solutions that require construction outside the Building Envelope. In such cases, the ARC has the discretion to approve deviations for improvements outside the Building Envelope, or changes to the location of the Envelope. It should be recognized that Building Envelopes may or may not exclude any areas on a Homesite with a greater than a twenty five percent slope, but that no improvements within or disturbances of such areas will be allowed.

Maximum Building Height

No portion of a structure (except for chimney elements) may exceed a true vertical height of thirty-two feet (32'-0") above existing natural grade directly below. Certain homesites are limited to a twenty-six foot (26'-0") as set forth in the CCR's.

The vertical distance of a structure shall be measured from the average elevation of the finished grade, at a distance of five feet from the exterior walls to the highest point of the structure.

Building Size

One (1) to one and a half (1 1/2) story homes will have a first floor footprint containing not less than 1,000 square feet of living area in Phase I & II and not less than 1,800 square feet in Phase III-IV. Two or more story homes will have a first floor footprint containing not less than 800 square feet of living area. The ARC may approve variances if there are special circumstances or unique design solutions.

Final Plat Map

The Final Plat Map, provided by Canyon Ferry Crossing with purchase of property, controls all setbacks and easements. If there are conflicts between the plat map and these guidelines, the plat map will be the governing document.

Driveway Standards

Access drives shall be located to preserve and avoid important natural features, such as large or significant plant materials, drainage ways and rock outcroppings, so as to minimize disruption of the existing landscape. A concrete or metal culvert pipe, sized appropriately for the topography, shall be installed beneath each access driveway, between the road shoulder and the property line, unless otherwise approved by the ARC.

Partial Exemptions

Phase 1, Homesites 2A, 2B, 3, 39 and 45 are geographically separated from the rest of Canyon Ferry Crossing. Accordingly, the application of these Design Guidelines will be substantially relaxed. For example, the following requirements or prohibitions shall not apply:

- Required minimum floor plan size;
- Prohibition on manufactured housings;
- Requirement for enclosed two car garage;
- Architectural Review Process except that Final Plans shall be submitted to the ARC prior to construction but no Review Fees shall be charged.

In general, it is the intent of this partial exemption to substantially relax the aesthetic criteria set forth in these Guidelines so that the improvements on the partially exempted homesites are consistent in character and style to the existing structures surrounding these homesites. Notwithstanding the above, portions of the Design Guidelines relating to sound construction practices and procedures, Building Envelopes, landscaping, grading and environmental concerns shall apply and may be enforced as set forth in these Guidelines.

Landscape Concept

Overview

The Canyon Ferry Crossing Landscape Concept promotes the opportunity to integrate each home into the natural beauty of the surroundings. The concept relies on the use of native and compatible plant materials.

A successful residential landscape gracefully transitions from the design elegance of the built environment, to the inherent country qualities of the region. The community landscape of Canyon Ferry Crossing seeks to stand apart from any fabricated development landscapes.

Native landscape materials, plants, trees, features, etc. are to be preserved and protected. The ARC must approve removal of any such items outside the constructed footprint of the home.

Re-vegetation and Restoration

All portions of a homesite that are disturbed by construction shall be re-vegetated and restored as soon as the first available growing season permits.

Existing trees approved by the ARC for removal during construction shall be replaced on an equal caliper basis. For example, an existing 8" tree shall be replaced with two 4" caliper trees (2" minimum caliper is required for tree replacement).

Turf & Shrub Areas

Shrubs, planted in masses, provide visual interest at any time in the year. They can display seasonal changes, expressed through their dynamic qualities, such as color.

Grass and turf areas can also provide a multitude of functions in the landscape. In contrast to shrub plantings, grass and turf areas create a visual base plane from which all other elements of the landscape arise.

The success of the grass and turf areas relies on the appropriate selection and mixes of turf for the desired purpose and use. Bluegrass, fescue or other turf grass lawns are acceptable adjacent to the home. Low water grasses are recommended for larger areas. When formal manicured lawns are used, the use of drought tolerant grass in lieu of water intensive grass is encouraged.

Trees

New tree planting should be compatible with native tree palettes. Any cutting of trees or vegetation must be first approved by the ARC with the following exceptions; pruning of dead limbs, removal of dead trees, and the cutting and removal of trees with a trunk diameter of four inches (4") or less which are bowed, leaning, severely misshapen, diseased or sparsely foliated.

Irrigation

Areas that feature introduced landscaping, such as grass, trees, shrubs and/or ground cover, should utilize an irrigation system for watering during dry months. In order to conserve water, an irrigation system provides a more efficient use of water than hand sprinklers. All natural areas remaining in their existing condition shall not be irrigated. Low water use design principals (xeriscape) are encouraged.

Landscape areas that require irrigation should conform to the following:

- Buried PVC sprinkler system or the utilization of drip irrigation systems;
- Sprinklers and nozzles selected to provide water to the landscape that are compatible with their respective soils, slopes, exposure, orientation and plant types;
- Utilization of an automatic control system.

No overthrowing of irrigation water onto public roadways, sidewalks, neighboring homes, or trails is permitted.

Site Preparation & Grading Standards

Site Work

No excessive excavation or fill will be permitted on any homestead except where specifically allowed by the ARC due to terrain considerations. Every attempt should be made to balance cut and fill with minimal use of retaining walls and engineered building pads. All excavated dirt shall be incorporated into the landscape plan or be exported off-site.

Grading and Drainage

Site grading and drainage must occur with minimum disruption to the homestead. This must be done without altering natural drainage patterns as run-off leaves the homestead and without causing conditions that could lead to unnecessary soil erosion, slippage or subsidence. Artificial benching of sloped sites to create an engineered pad to accommodate a "flat lot design" is strongly discouraged.

Surface drainage upon and across any homestead must be addressed through the implementation of sound construction and grading practices. Existing points of entry and exit to and from a homestead by historic surface drainage must be respected. Any improvement that creates an obstruction to surface flows resulting in a backup of water onto a neighboring homestead is strictly prohibited. Ground floor levels should be established at a vertical elevation such that final placement of backfill, walks, drives and porches will produce positive drainage away from the structure in all directions.

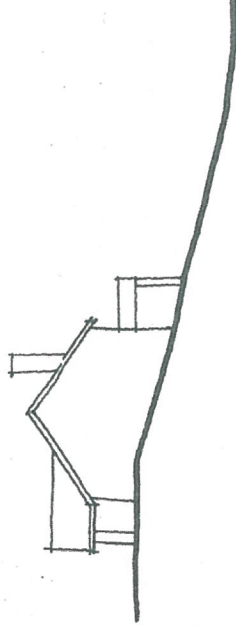
Retaining Walls

In some instances, it may be necessary to provide retaining structures to protect trees near roadways and other graded areas. Such retaining structures should have a natural appearance using natural materials, such as: stone, wood ties, split face block, etc., and be terraced whenever possible.

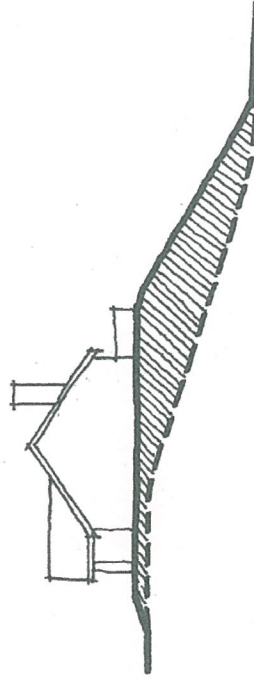
Erosion Control

Temporary and permanent erosion control measures are required as a part of the construction process on all building sites. These are intended to prevent the erosion of soil at Canyon Ferry Crossing. The placement of barriers such as erosion fabric fences, straw bales, or curb-like diversions along the perimeter of construction areas are considered temporary measures to prevent excessive runoff.

Run-off from construction areas must be directed away from any sensitive natural areas. Permanent measures include the use of plant material to hold soil in place and the proper grading of the site. Drainage facilities shall use natural systems wherever possible. Pervious surfaces rather than hard surfaces are encouraged to promote ground percolation.



▲ *Siting of home is to conform with the natural topography when possible.*



▲ *Excessive cut or fill is not permitted.*

Site Uses & Elements

Residential Walls & Fences

Canyon Ferry Crossing seeks to create a sense of openness throughout the community. Therefore, private fencing and walls within each homestead are subject to the following requirements:

- Design and material use must be compatible with the homestead layout and usage
- Fences, privacy screens/walls and dog runs should be incorporated / attached to the architectural design of the residence
- No walls or fences are permitted along property lines where they would encompass the entire homestead or a portion thereof, except on lots approved for horses
- Maximum fence height shall not exceed four feet, except for privacy fences and deer fencing around gardens
- Open wire or woven mesh, chicken wire, aluminum, sheet metal, plastic, fiberglass, reed or straw-like materials or other similar fencing materials are prohibited, except for appropriate deer protection around plants, trees and gardens

The use of ornamental iron or other metal fencing is subject to ARC approval

- Materials described herein and the approved materials listed in the "Materials & Color" section are examples of accepted fence and wall materials
- Barbed wire or deterrent security devices are not permitted

- Non-climbable wrought iron fencing is permitted only around pool and spa areas and must be secured by a latch or lock attached to a self-closing childproof gate
- All private fencing and wall areas should be adequately landscaped to mitigate the negative visual impact of the fencing material

- Electric dog fences are encouraged and must be set back a minimum of ten feet (10'-0") from the property line, road or utility easement

- Dog runs are permitted provided they are attached to the main structure and follow the design criteria described herein

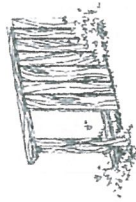
- Walls and/or shrub planting screens are required around trash areas and mechanical equipment
- Walls located on sloping terrain may step or follow the grade, however, no portion of the footing or foundation may be exposed in excess of 6".

The following are examples of approved fencing designs within Canyon Ferry Crossing:

Privacy & Dog Run Fencing:



Grapeslake or Stockade.



Solid Board.



Semi-transparent with Alternating boards.



Post & Board with wire fabric.

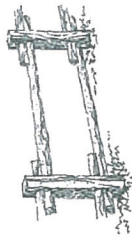
Perimeter Fencing (horse properties only):



Double Post & Rail.



Zig - Zag.



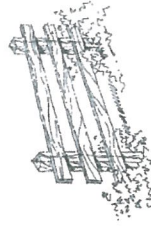
Mortised Post & Rail.



Coral Fencing.



Post & Rail (also in log design).



Post & Board.



Buck & Rail.

Mail and Newspaper Boxes

The Canyon Ferry Crossing Owners Association will provide a central mailbox. _____ structure at the main community entry. Individual mail _____ boxes are not permitted.

On-site Parking and Vehicle Storage

For purposes of the following provisions "Vehicle" shall be considered to be any motorized machine, including, but not limited to, an ordinary passenger automobile, truck, three wheeler, motorcycle, four wheeler, tractor, farm equipment, construction equipment, camper, snowmobile, jet ski, wave runner, boat, bobcat, backhoe, plow, trailer, recreational vehicle or commercial vehicle.

No more than four Vehicles may be stored or parked outside on any homestead at any time except for short-term guest parking. Owners are encouraged to build storage facilities for additional vehicles for the enhancement of the community. At no time shall inoperable Vehicles be stored on, or repaired outside a garage on any homestead. Guest parking must be contained on the Owner's homestead.

These provisions shall not prohibit the storage or parking of construction equipment and machinery on the homestead during the period of construction activities for which all applicable permits and Architectural Review Committee approval have been obtained. Provided that the equipment remains on the property for an unreasonable period of time, then the Architectural Review Committee may require the removal of any such equipment or machinery upon written notice to the Owner of the affected homestead.

Prefabricated Buildings

No house that is constructed off-site and requires transportation to any homestead, whole or in partial assembly, will be permitted. This includes mobile homes, stock modular buildings, used buildings or any other structure requiring transportation and set-up in a partially complete state.

However, structures that are assembled off-site and completely disassembled for transportation, including, but not limited to, log homes, are permitted. The aesthetic merits of any such structures are subject to review and approval by the ARC.

Exterior and Landscape Lighting

All exterior lighting requires review and approval by the ARC. Appropriate uses of exterior lighting include low-level landscape lighting to define walkways, patios or other outdoor features immediately surrounding the home. All exterior lighting shall be designed to minimize impacts on adjacent properties and shall be located within the Building Envelope.

- In order to reduce glare and provide general ambient light, all light sources shall be concealed within the building or light fixture.
- No lighting is permitted outside of the Building Envelope unless specifically approved by the ARC.
- No exterior lighting in which the direct source is visible from a neighboring property or which produces excessive glare to neighboring property or roadways shall be permitted.
- Indirect sources and horizontal cutoff light fixtures are recommended to reduce glare.

Sundecks, Patios & Retaining Walls

All exterior decks and terraces should be within the property's building envelope and are subject to the ARC approval. Decks and patios must be designed utilizing materials, textures, patterns and other elements that are consistent with the home's architectural style.

Supporting elements for decks should be large in scale and compatible with the home design. Natural stone columns and stone combined with wood materials are encouraged. Typical 4"x4" wood posts to support above grade decks are not permitted.

Use of retaining walls is encouraged to retain existing natural landscape elements. Maximum total vertical exposure of retaining walls are limited to four feet (4'-0"). Retaining walls to preserve grade within the drip-line around existing trees are encouraged.

Patio Structures

Patio structures, trellises and gazebos must be built within the building envelope. Patio structures must be consistent with the architectural expression of the residential structure and constructed of compatible materials.

Underground Wiring

All exterior wiring is to be installed underground.

Clotheslines

Outside clotheslines are not permitted within the Community of Canyon Ferry Crossing except within the confines of a privacy fence.

Pets

All pets are to be contained within the owner's property or be leashed.

Farm Animals

Farm animals, commercial animal breeding, husbandry or boarding are prohibited with the exception of horses on specified homesites.

Fuel Tanks

All fuel tanks are to be buried on an appropriate location within the homeowner's property.

Playground Equipment

All playground equipment, structures, etc. are subject to prior review and approval of the ARC. Such equipment must be located within the building envelope.

Gas and Electric Meters

Gas and electric meters are to be appropriately screened with landscape plant materials or enclosed in cabinets that are a part of the primary residence architecture. Conformance with all utility and building code standards must be addressed.

Mechanical Equipment

Rooftop or wall mounted mechanical equipment will not be permitted. Any exterior mechanical equipment utilized must be ground mounted adjacent to the residence. Walls, fencing or landscaping of sufficient height and density to screen the equipment from view and to buffer sound must enclose such equipment.

Miscellaneous

- Home offices are permitted. One sign no larger than two square feet is allowed for home businesses, provided that such sign is attached to the residence or placed inside a window.
- Nothing shall be nailed or attached to existing trees.
- Snowmobiles, motorcycles, three-wheelers, four-wheelers or other motorized vehicles are not allowed to operate on Common Elements and homesites and are restricted to the roadways.
- All lawn maintenance equipment must be stored in garages, basements or out-buildings.

Swimming & Spa Pools

Swimming pools and spas must be fully integrated into the existing site terrain and landscape design of the homestead.

Location of the equipment should minimize the impact of reflective glare and noise on neighboring property. A geotechnical engineer should review pool designs. The pool equipment must be fully enclosed by solid walls and a solid gate that matches the style and color of the home. It may also be placed below grade in an equipment vault.

Pool fencing must comply with the standards described in Residential Walls & Fences (see this section for information) and abide by local governing building codes as required.

Backwash water, from swimming pools and spas, is not permitted to wash over or erode adjoining homestead.

Game Courts

Game courts must be contained within the designated building envelope and setbacks. Courts or any fencing must not obstruct the views from adjoining properties. It is recommended that game courts be recessed five feet (5'-0") below the surrounding grade. Recessed game court design should be reviewed by a civil engineer.

When game courts are enclosed with a fence, the fencing shall be dark green vinyl coated mesh. Fence height shall be a maximum of 12 feet above court surface. Adequate landscaping must be provided to soften the visual impact of the fencing and must be approved by the ARC.

Lighting for game courts is permitted, provided the lighting does not spill onto adjacent properties. Lighting standards are limited to eighteen feet (18'-0") in height, measured from finished grade of court. Lighting fixtures must have internal reflectors and be shielded to minimize the spread of light outside the court. The light housing and pole must be cast aluminum with a baked enamel finish. Color shall be dark green that matches the plastic coated fence.

Signage

Temporary and Construction Signs

Signs are prohibited on all properties. The exception being during construction, when one sign identifying the contractor of a building may be placed at the building site (maximum two weeks prior to construction activity) and shall not exceed four square feet. These signs must be removed within two (2) weeks of completion of construction, or immediately upon the passage of thirty (30) calendar days without significant construction activity.

House Numbers and Owner/Occupant Signs

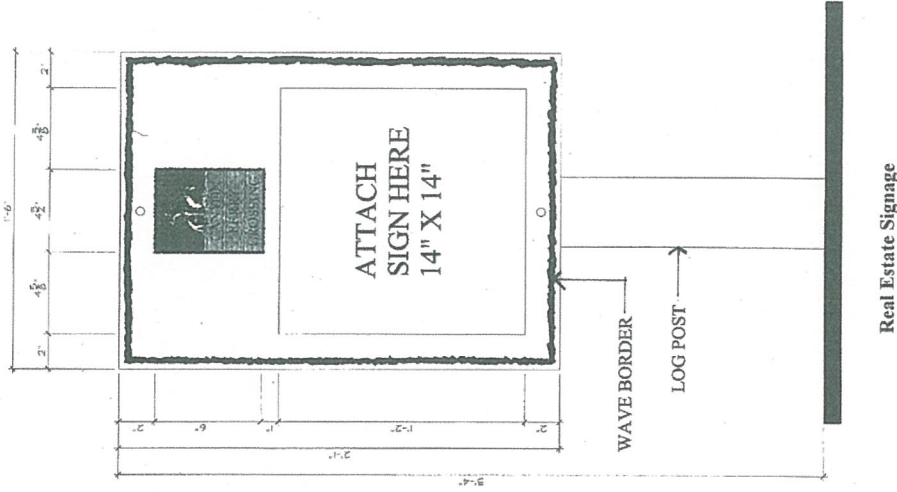
Two (2) sets of house address numbers, not to exceed one (1) square foot per set, are permitted per home. In addition, one sign of no more than two square feet in area, identifying the owner or occupant of the dwelling may be attached to the home or placed at the driveway entry. Back lighted address numbers or owner/occupant signs shall be strictly prohibited. The Canyon Ferry Crossing Architectural Review Committee encourages the use of metal or wood for numerical and owner/occupant identification.

Advertising Signage

~~One sign not to exceed two square feet advertising a home business may be attached to the dwelling or placed inside a window of the dwelling.~~
This signage provides a 14" x 14" space for realtors, etc. to attach their signs (see sketch at right).

Home Businesses

One sign not to exceed two square feet advertising a home business may be attached to the dwelling or placed inside a window of the dwelling.



Real Estate Signage

Design Review of Plans

Governing Jurisdictions

Before any construction can begin a permit from the Canyon Ferry Crossing Architectural Review Committee (ARC) must be obtained. The permit promotes compliance with the Declaration of Covenants, Conditions and Restrictions (CCRs) and controls the harmony of external design with surrounding structures and topography. Under no circumstances will a homeowner begin construction without a permit from the ARC.

Canyon Ferry Crossing Submittals

Submittal of plans and specifications for the construction or installation of any improvements within Canyon Ferry Crossing is to be made to the Canyon Ferry Crossing Architectural Review Committee at the following address:

Canyon Ferry Crossing
Architectural Review Committee
3720 Water Dance Drive
Helena, Montana 59602
Tel: 406.339.4444

At the time the plans are submitted, the applicant will pay the Design Review Fee. Initially, the Design Review Fee is \$500. All fees are payable to the Canyon Ferry Crossing Owners Association. A licensed architect shall review all plans.

The Canyon Ferry Crossing Architectural Review Committee may change the address for the submittal of plans and specifications.

The ARC shall only review, approve and/or disapprove submitted plans and specifications regarding style, exterior design, appearance, location and compliance with the provisions set forth in these guidelines and requirements included in the CCRs.

The ARC shall not be responsible for reviewing and/or approving any improvement plans and specifications for: engineering design, structural engineering and safety, or for compliance with applicable zoning, building, or other county, state, or federal laws, ordinances, or policies. Neither the ARC, the Canyon Ferry Crossing Owners Association nor the Declarant assumes any responsibility or liability for any defect in any structure or improvement constructed from approved plans or specifications.

Along with obtaining all necessary approvals from the Architectural Review Committee as set forth in the CCRs and these Design Guidelines, each owner is obligated to obtain all necessary governmental approvals. Plans and specifications are to be prepared in accordance with applicable governmental laws and regulations affecting the use of the property and the improvements thereon.

Improvements Required for Review

By way of illustration, but without limitation, the following improvements require submission to the Canyon Ferry Crossing Architectural Review Committee for approval:

- New construction or installation including: dwellings, accessory buildings, guest houses, garages, fences, retaining walls, steps, awnings, canopies, poles, trellises, patio overheads or docks, gazebos, sundecks, wind screens, game courts, swimming pools, fountains, spas, hot tubs, recreation apparatus, and exterior lighting, sound systems and solar energy systems.
- Installation or significant modification of landscape, hardscape, trees, shrubs, plants, irrigation or drainage systems, recreation areas or courts and surface drainage revisions.
- Subsequent changes or other improvements to the property after completion of the initially approved and/or constructed structure, landscaping, etc. must be submitted through the same design review procedure for approval by the ARC.
- Drilling wells or installing septic systems.

Jurisdictional Review & Approval

Approval of any project by the Canyon Ferry Crossing Architectural Review Committee does not waive the requirement for permits from Lewis and Clark County, the State of Montana or any other governmental or quasi-governmental agency having jurisdiction in Canyon Ferry Crossing. Nor does the obtaining of all required permits from Lewis and Clark County, the State of Montana or any other governmental or quasi-governmental agency having jurisdiction in Canyon Ferry Crossing waive the need for the Canyon Ferry Crossing Architectural Review Committee approval.

The Canyon Ferry Crossing Architectural Review Committee will not knowingly approve a project that violates jurisdictional building or zoning codes. The ARC takes no responsibility for plan's conformance to any criteria other than these Canyon Ferry Crossing Design Guidelines.

Design Review Submittal Requirements

Any submittal for the construction or installation of any improvement, including but not limited to architectural or landscape to the ARC, shall include four copies and shall be initiated with an Application for Review provided by the Canyon Ferry Crossing ARC.

Upon completion of the review and approval process, one (1) set of each submission is to be retained by the Canyon Ferry Crossing Architectural Review Committee, and one (1) set is to be turned over to the owner. All submissions must be determined to be complete before the ARC will commence review of plans. Submissions that are not complete, as determined by the ARC, will be promptly returned to the owner.

The following documents are required for submittal review:

- **Site Plan:** Min. Scale 1" = 10'-0"
Indicating the building envelope, site boundaries and easements, existing and proposed contours, all proposed building footprints, structures and improvements, site grading and drainage, retaining walls, driveways (including grades), parking areas, walkways, patios, terraces, utility lines and connections and any other proposed improvements.
- **Floor Plans:** Min. Scale 1/4" = 1'-0"
Dimensioned plans indicating walls, location of doors and windows, decks, other attached building elements and total square footage (conditioned and unconditioned) of each floor.
- **Roof Plan:** Min. Scale 1/4" = 1'-0"
Indicating roofing materials, roof pitch, layout, roof projections and penetrations (such as mechanical exhaust vents, chimneys, roof dormers, etc.) and elevations of all ridge and eave lines.
- **Exterior Elevations:** Min. Scale 1/4" = 1'-0"
Indicating exterior appearance of all elevations including: materials and colors, fenestration textures / finishes, architectural details, lighting, plate heights, roof heights and finish grades.

Perspective Sketches:

Architectural rendering(s) from pedestrian level representing the primary public exposure of the building, building form / mass, fenestration, exterior materials, colors, textures / shadows, exterior character and detailing, and surrounding vegetation and landscape features.

Exterior Finish Material Boards:

Exterior finish material sample boards indicating type, color and texture.

Specifications:

Written specifications and/or cut sheets for the following items: exterior wall materials, windows and exterior doors, exterior trim / detailing materials, wall and roof flashing, fireplace and flue caps and exterior lighting fixtures.

Landscape Plan:

Min. Scale 1" = 10'-0"
Indicating all existing landscape materials to remain and all existing landscape materials to be removed, a planting plan with proposed plant materials identified by common and botanical names and size, location and size of all other proposed landscape materials such as retaining walls, patios, decks, walkways, walls / fences and lighting.

Any material to be submitted or notice given to the ARC shall be submitted at the ARC address provided in this section.

Review Procedures

The ARC will take formal action on a plan submittal by voting to approve, approve with conditions, deny or table the application. Applications that receive approval or approval with conditions may commence with construction. Applications that are denied by the ARC may submit a revised plan application. The ARC will provide the Owner with a written statement within three (3) weeks of the plan submittal describing the ARC's actions and if applicable, a list of issues that should be addressed during the next step in the design process.

If the ARC denies a plan submittal, the Owner may revise their plans and re-submit a plan application to the ARC. No additional ARC fee shall be required for this re-submittal. If the plan is denied after a second review by the ARC, the applicant may revise their plans and re-submit a plan application to the ARC, provided however, that an additional ~~XXXXXX~~ Design Review Fee will be required.

Inspections

All Owners agree to allow the ARC or its representatives site access to inspect all work in progress at anytime during construction, and when required, to give notice to the Owner of non-compliance. In addition to the enforcement of these guidelines, the ARC may withdraw approval of any project, and require all activity at such project to cease and desist if deviations from approved plans or construction procedures are not corrected or reconciled within 24 hours after written notification to the Owner specifying such deviations. Notwithstanding the above, absence of such inspections or notification during the construction period shall not imply approval of the work in progress or compliance with these Design Review Guidelines. Inspections by the ARC are independent of the inspections and information required by the County, if any.

Architectural Review Committee

Duties and Powers

The ARC shall operate in accordance with Section 6 of the CCRs for Canyon Ferry Crossing. All plans for site preparation, building construction, landscaping and site modifications, modifications to the exterior of buildings, alterations or enlargement of an existing structure, paving, fencing, sign erection or other improvements must receive written approval from the ARC. Approval from the ARC must be received prior to initiating any of the above activities. Alterations or remodeling of existing improvements which are completely within a building or structure and which do not change the exterior appearance of a structure may be undertaken without ARC approval. During the construction process, no material changes, alterations or additions to any approved plans or specifications shall be made prior to obtaining written approval by the ARC.

The ARC shall rely on and have the right to interpret the guidelines contained herein as the primary basis for evaluating all developmental proposals. The approval of consent of the ARC shall not be unreasonably withheld, actions taken shall not be arbitrary or capricious and decisions shall be conclusive and binding on all interested parties. Notwithstanding the above, the ARC shall have sole discretion to approve or deny any proposed improvement or development. If the ARC determines that a deviation from these Design Guidelines is appropriate considering the Owner's overall development plan, the ARC may approve deviations to any regulation or restriction contained herein to the extent not inconsistent with the CCRs.

Design Consultants

The ARC is authorized to retain the services of one or more consulting architects, landscape architects or land planning consultants to advise and assist the ARC in performing design review functions. Such consultants may be retained to assist the ARC on a single project, on a number of projects or on a continuing basis.

Amendments of Design Guidelines

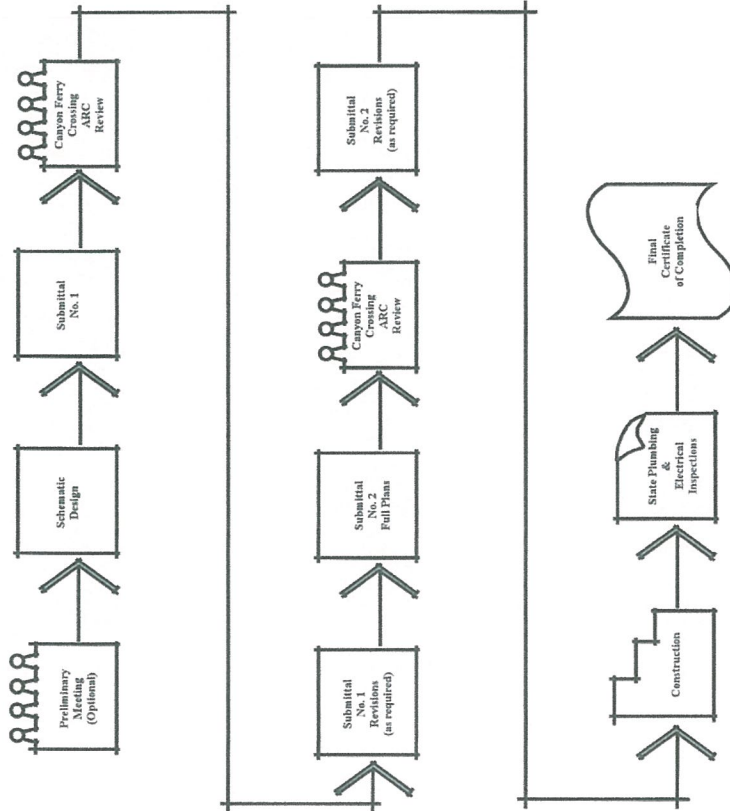
These Guidelines may be amended from time to time by the ARC. Each Owner is responsible for obtaining the most current copy of the Guidelines from the ARC.

Enforcement

The ARC shall have primary responsibility for the enforcement of the Guidelines and restrictions set forth herein. Authority of the ARC shall be as outlined in the CCRs.

DESIGN GUIDELINES
FOR CANYON FERRY CROSSING
SECTION V - DESIGN REVIEW & APPROVAL PROCESS

Design Review Approval Process Flowchart



Notice of Completion

After completion of all improvements to the Property the owner shall submit written Notice of Completion to the Canyon Ferry Crossing Architectural Review Committee indicating that all improvements to the Property are complete and are in conformance with the approved plans and specifications. Upon receipt of the letter, the ARC must inspect the improvements within thirty (30) days. After inspection, the ARC must notify the owner of either final approval of the improvements or noncompliance with the approved plans and specifications. Upon final approval the ARC will issue a Final Certificate of Completion.

Builder and Contractor Review

If at any time information is brought to the attention of the ARC, CFCOA or Canyon Ferry Crossing LLC, indicating any impropriety on the part of a Builder/Contractor, deemed not to be in the best interest of the community or the property owners, the Builder/Contractor may be denied permission to work in Canyon Ferry Crossing.

Deposits

Owners shall, prior to commencement of construction, pay to the Canyon Ferry Crossing Owners Association the following deposit:

One thousand dollars (\$1,000.00) to assure the re-vegetation of disturbed areas on the homesite, the proper clean-up of dirt and debris, the repair of any damage to the landscaping, private streets and common elements within Canyon Ferry Crossing caused by the Property Owners or their contractors in the construction of their home. All re-vegetation and cleanup is to be completed within ninety (90) days of the first occupancy of the home (except as may be limited by weather conditions) or one hundred dollars (\$100.00) per week there after will be deducted from the deposit. At the written request of the owner, the ARC may extend the 90-day limit based on seasonal weather constraints. Such extension shall be in writing, and shall specifically establish the new completion date. This deposit or any remaining portion is to be refunded upon completion of the construction of an owner's home, inspection and final approval of the improvements by the ARC, completion of the re-vegetation and cleanup and issuance of a Final Certificate of Completion.

Construction Standards

Purpose

To ensure that the natural landscape and all neighboring properties are respected, and the nuisances inherent to any construction process are kept to a minimum, the following regulations shall be enforced during the construction period of all improvements at Canyon Ferry Crossing. Any violation of these regulations by an Owner's agent, representative, builder, contractor or subcontractor shall be deemed a violation by the Owner.

No construction may commence until the ARC has granted approval of the Owner's building plan. Plan approval granted by the ARC is valid for two (2) years. If construction does not commence within two (2) years from the date of plan approval by the ARC, said approval shall expire. In such cases, applications shall be resubmitted to the ARC for review prior to initiating any construction or site preparation. Once construction on a project is initiated, completion of the project shall be pursued with due diligence until completion. Construction shall be completed within eighteen (18) months from the date of start of construction. In such cases where construction of a project is suspended for more than three (3) months, the Owner(s) shall meet with the ARC to establish a schedule for completion.

Protection of Property and Native Landscaping

Any removal of trees, other than within the footprint of the primary residence, is prohibited, except under conditions stated elsewhere in these Guidelines or the CCRs. All construction activity shall be confined to the homesite on which the building is being constructed, unless written authorization has been granted by an adjacent property owner to utilize an adjacent homesite. All excavated or disturbed areas within the Owner's homesite shall be restored, re-seeded or newly landscaped immediately after completion of building construction. Any open space, adjacent homesites, roadways or other property within Canyon Ferry Crossing damaged or disturbed during construction shall be promptly repaired and/or restored by the Owner or builder, including but not limited to, restoring grades, planting shrubs and trees as approved or required by the ARC, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing.

Construction Parking

The approved access drive will be the only construction access to any homesite. Construction crews will not park on, or otherwise use, adjacent homesites, nearby driveways, or open space. All vehicles shall be parked on the homesite where the building is being constructed. During very busy construction periods involving multiple trades such that all construction vehicles cannot be confined to the homesite, the overflow vehicles may be temporarily parked along the shoulder of the roadway, so long as access for normal traffic and emergency vehicles, including fire trucks, is not restricted.

Material Deliveries

All materials, equipment and machinery required to construct a residence on any homesite at Canyon Ferry Crossing must be delivered to and remain on the homesite. This includes all building materials, earth-moving equipment, trailers, generators, mixers, cranes and any other equipment or machinery that will remain at Canyon Ferry Crossing overnight. Equipment and material delivery vehicles may not drive across adjacent homesites or tracts to access a construction site.

Health and Safety Compliance

All applicable statutes, ordinances, or rules pertaining to safety and health, hazardous materials, toxic substances or wastes, including all relevant Occupational Safety and Health Act (OSHA) regulations and guidelines must be observed at all time. All construction must meet or exceed Uniform Building Code and all other applicable governmental rules, regulations, laws and statutes.

Excavation Materials and Blasting

If any blasting is to occur, ARC consent must be obtained prior to commencement of construction. The ARC must be notified two (2) weeks in advance and appropriate approvals must be obtained from any applicable government authorities. Blasting may only be done by a licensed demolition personnel, with all requisite insurance coverage as mandated by the county and state statutes, specific to their blasting activity at Canyon Ferry Crossing.

Sanitary Facilities

Each Owner or builder shall provide adequate on-site sanitary facilities for his construction workers.

Firearms, Alcohol and Controlled Substances

The possession or discharge of any type of firearm by construction personnel on any construction site, homesite, or Common Elements within Canyon Ferry Crossing is prohibited. The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, homesite, or Common Element within Canyon Ferry Crossing is prohibited.

Fires and Flammable Materials

Careless use or storage of flammable items is prohibited. Careless disposition of cigarettes and other flammable materials as well as the build-ups of potentially flammable materials constituting a fire hazard, are prohibited. At least two 20-pound ABC-Rated Dry Chemical Fire Extinguishers shall be present and available in a conspicuous place on the construction site at all times. No on-site fires are allowed, except small, confined, attended fires for the purpose of heating masonry water.

Construction Signs

Temporary construction signs shall be limited to one sign per site not to exceed four square feet of total surface area. The construction sign may not be erected on a site earlier than two (2) weeks prior to the onset of continuing construction activity and must be removed within two (2) weeks of completion of construction, or immediately upon the passage of thirty (30) calendar days without significant construction activity. Attachment of signs or similar material to trees is strictly prohibited.

Daily Operation

Daily working hours for any activity outside of a building on a construction site shall be 30 minutes before sunrise to 30 minutes after sunset. Construction activity which generates noise that can be heard on adjacent homesites such as hammering, sawing, excavation work, concrete delivery, etc., must be confined to the hours of 8:00 AM to 6:00 PM Monday through Friday, and 9:00 AM to 5:00 PM on Saturday. Noisy activity is prohibited on Sunday of each week, particularly during the summer period of high owner/visitor occupancy.